

#3561 ~ Brighton Avenue Land

**63-67 Brighton Avenue
Long Branch, NJ 07740**

Land

**Block: 127
Lot: 6**

Land Size: 0.1879 Acre (88 x 93)

Tax Information

Land Assessment:	\$ 612,600.
Improvement Assessment:	\$ 0.
Total Assessment:	\$ 612,600.

Taxes:	\$ 9,514.
Tax Year:	2023
Tax Rate:	1.567/\$100
Equalization Ratio:	89.73%
Updated:	02/19/2024

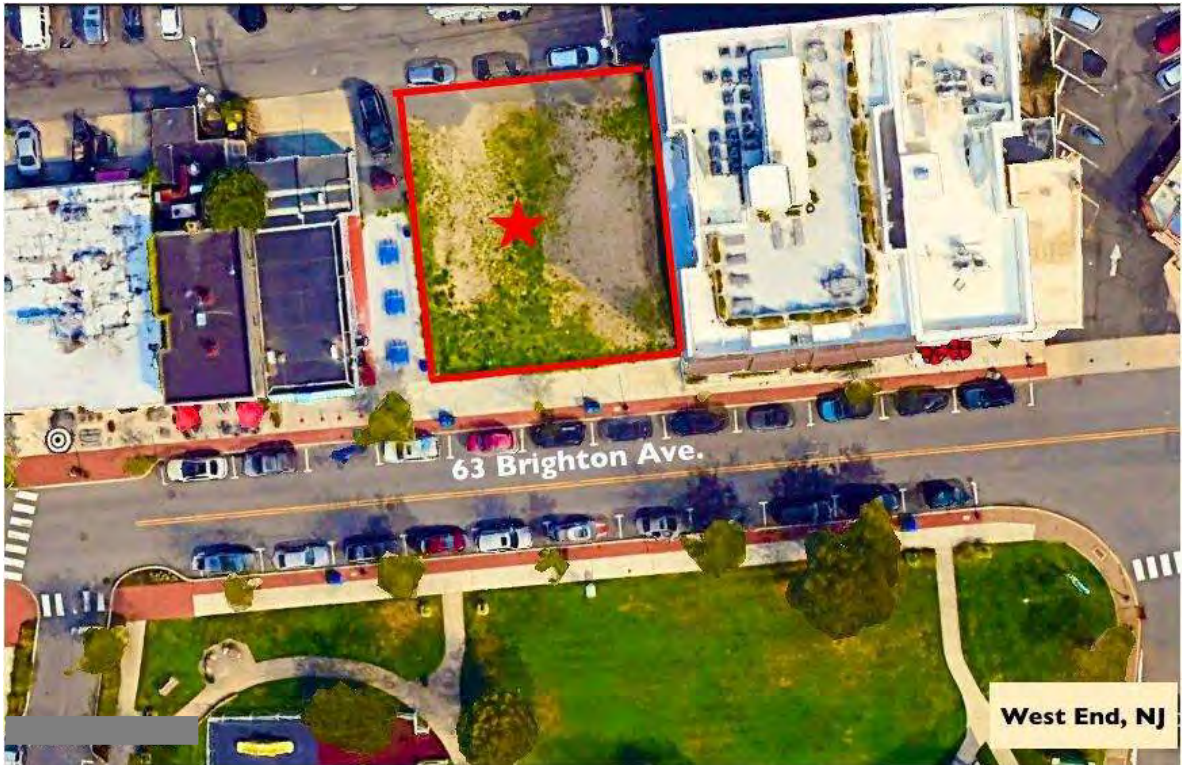
Zoning: C-3 (WEDO) ~ Neighborhood Commercial District, West End Design Overlay

Remarks: 0.1879 Acre of Vacant Land in High Visibility Location in the West End Section. Located Steps from the Brighton Avenue Entrance of the Long Branch Boardwalk. Many Development Opportunities Including Hospitality and Mixed-Use Residential with Ground Floor Retail. No Development Plans Have Been Submitted to the City of Long Branch. Easy Access to Highway 36.

Price: \$ 2,500,000. ~ Sale

Please call **Ray S. Smith/Broker** of **Stafford Smith Realty** at **(732) 747-1000** for further details.

530 Prospect Avenue, 2E, Little Silver, New Jersey 07739-1444
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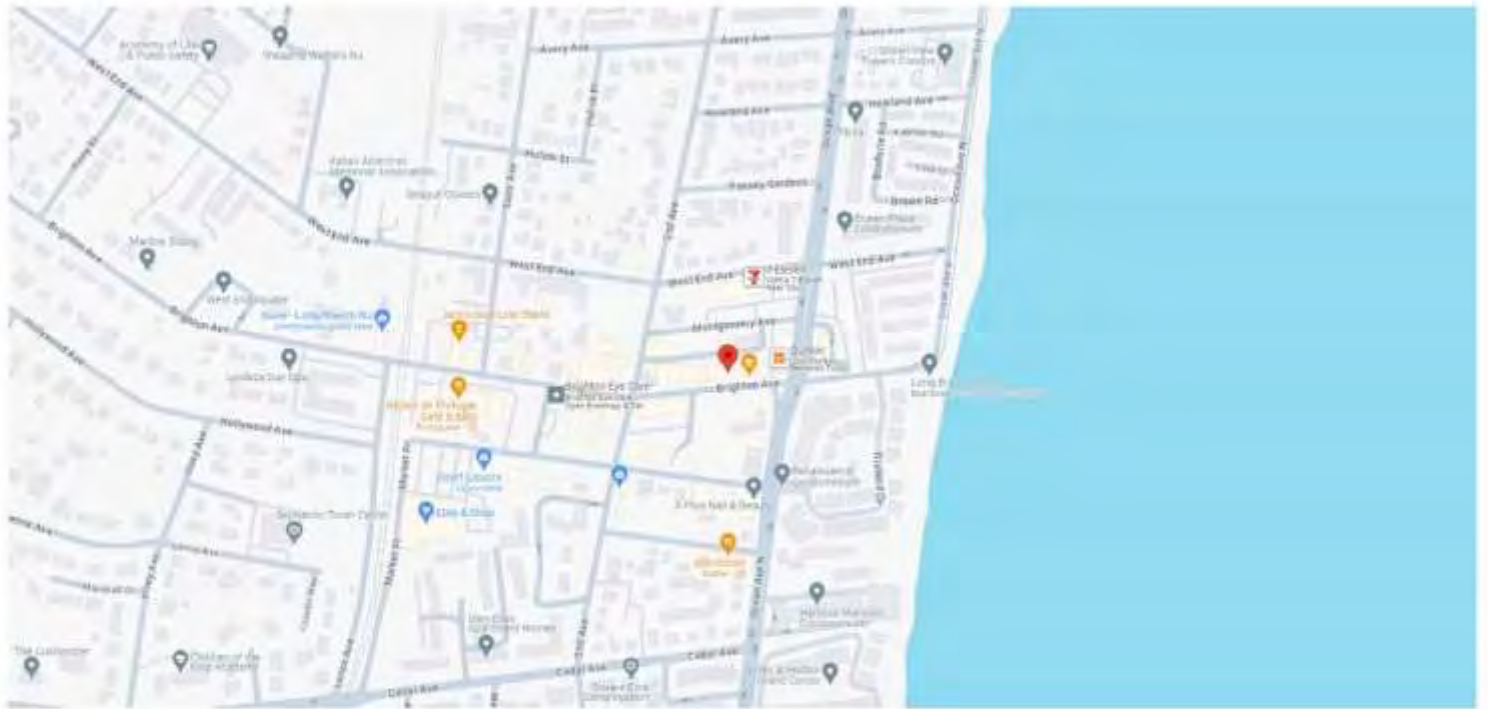
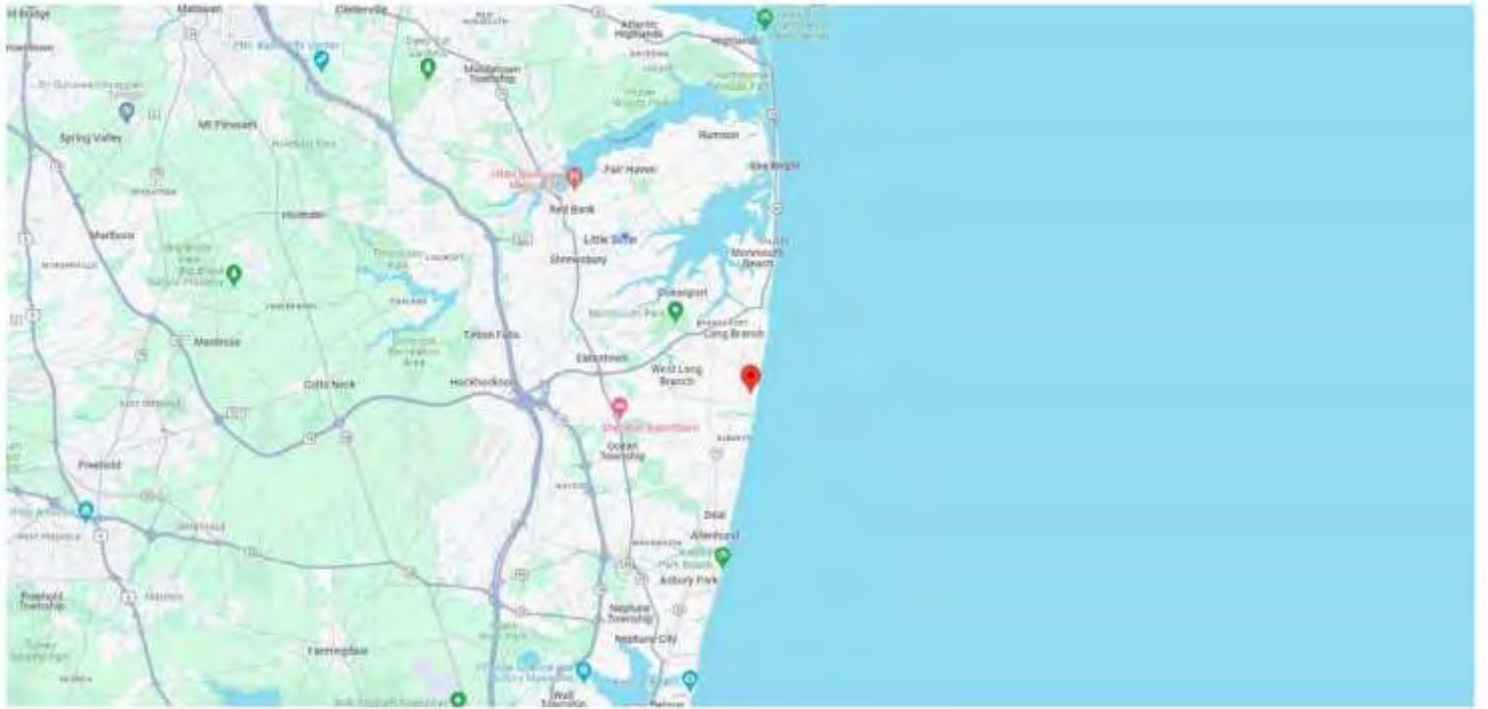


— Road Centerlines

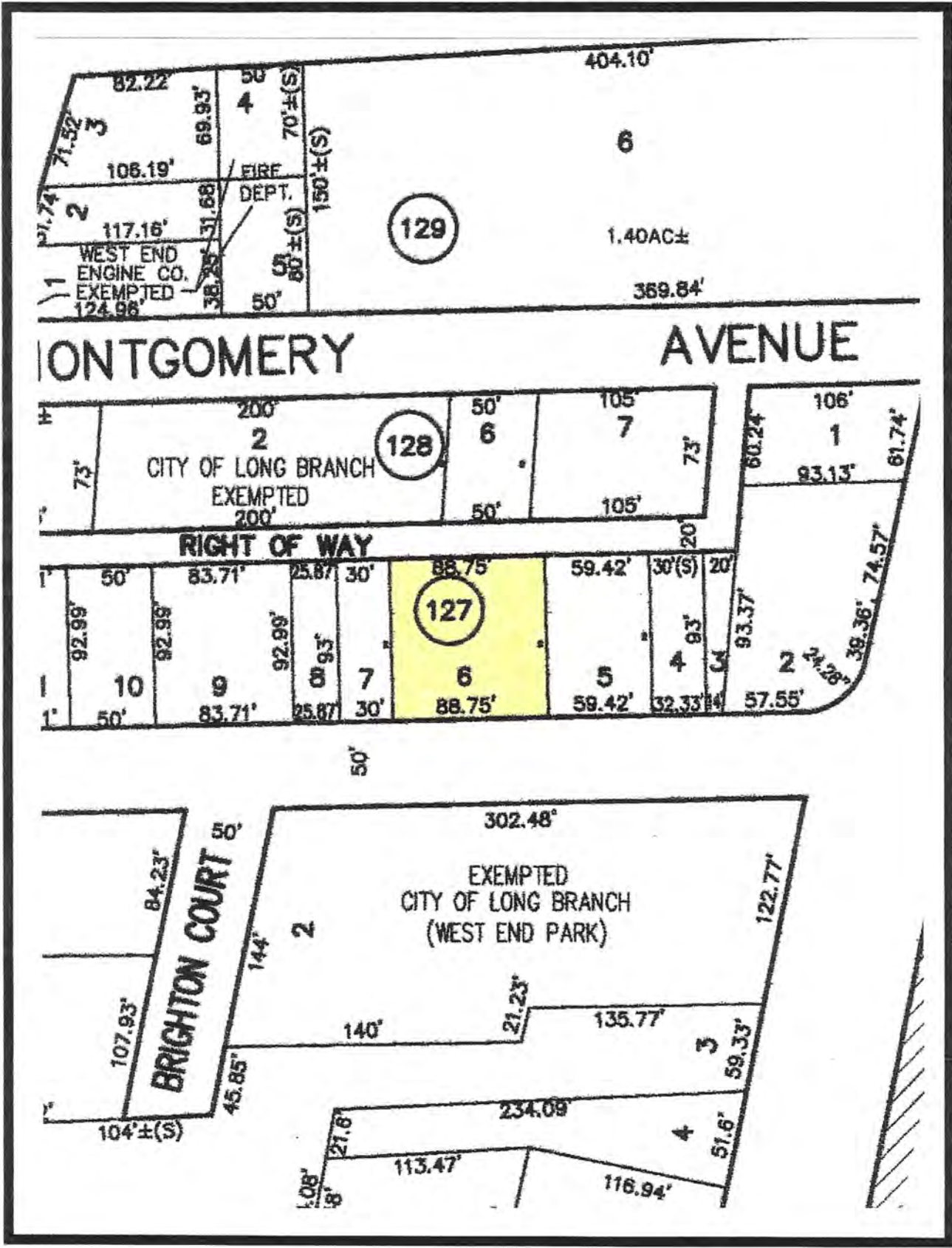
□ Parcels (cadastral non-survey)



— Road Centerlines



TAX MAP LOCATION



PROPERTY SURVEY. 63 Brighton Ave., Long Branch, NJ 07740

MEMORANDUM OF TITLE

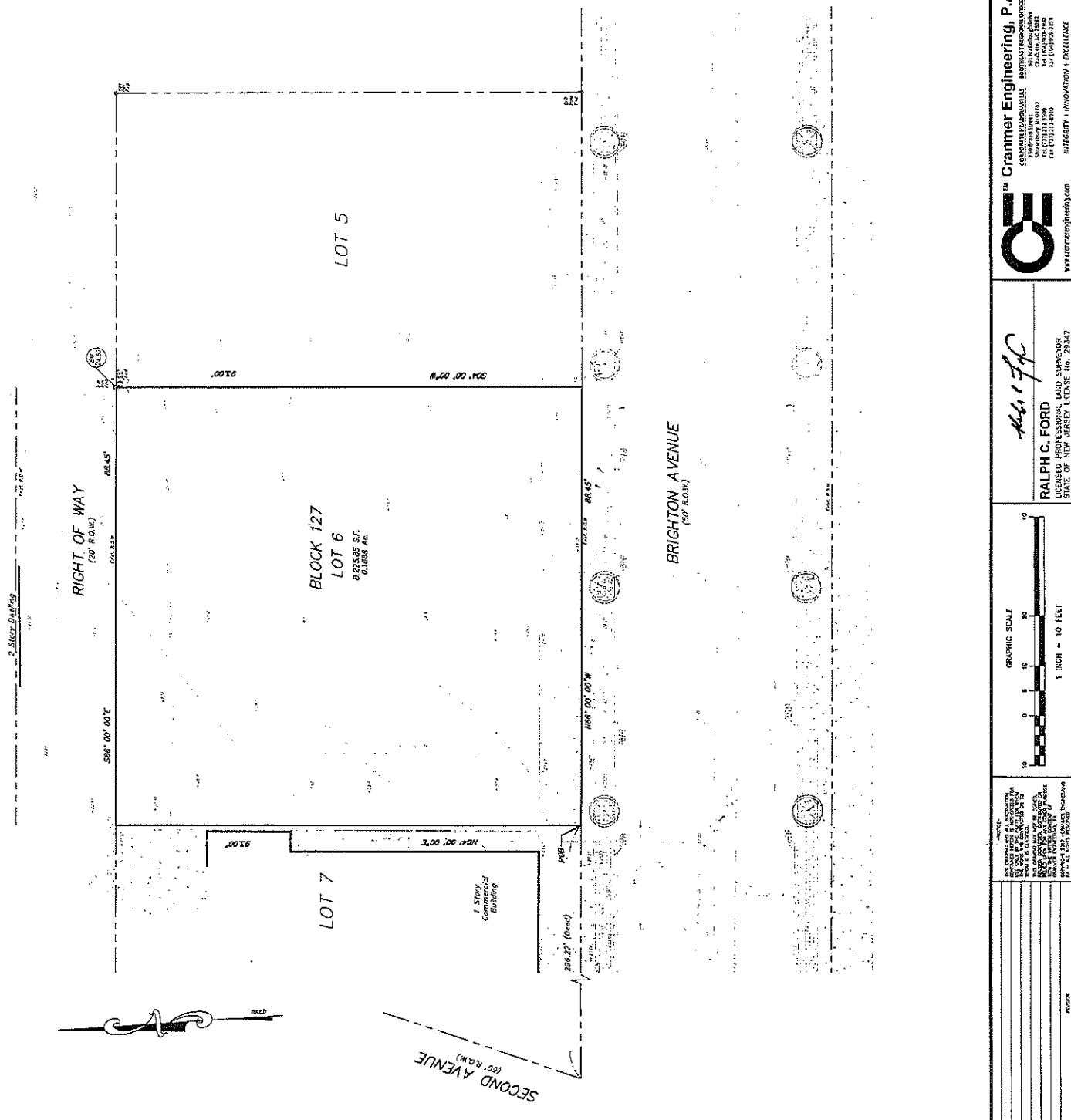
1. SURVEYOR'S CERTIFICATE: THIS IS TO CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP OR PLAN IS THE RESULT OF A FIELD SURVEY CONDUCTED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEW JERSEY. I HAVE REVIEWED THE RECORDS OF THE COUNTY CLERK OF MONMOUTH COUNTY AND HAVE FOUND NO RECORDS OF ANY INTERESTS IN THE PROPERTY SURVEYED WHICH WOULD AFFECT THE SURVEY OR THE RIGHTS OF THE PARTIES TO THE SURVEY. I HAVE ALSO REVIEWED THE RECORDS OF THE COUNTY CLERK OF MONMOUTH COUNTY AND HAVE FOUND NO RECORDS OF ANY INTERESTS IN THE PROPERTY SURVEYED WHICH WOULD AFFECT THE SURVEY OR THE RIGHTS OF THE PARTIES TO THE SURVEY. I HAVE ALSO REVIEWED THE RECORDS OF THE COUNTY CLERK OF MONMOUTH COUNTY AND HAVE FOUND NO RECORDS OF ANY INTERESTS IN THE PROPERTY SURVEYED WHICH WOULD AFFECT THE SURVEY OR THE RIGHTS OF THE PARTIES TO THE SURVEY.
2. PROPERTY BEING KNOWN AND DESCRIBED AS LOT 5, BLOCK 127 AS SHOWN ON THE SURVEY MAP.
3. THE SURVEYOR'S CERTIFICATE IS VALID FOR THE PURPOSES OF THE SURVEY MAP AND IS NOT VALID FOR ANY OTHER PURPOSES.
4. THE USE OF THE WORD "CERTIFY" OR "CERTIFICATE" CONSTITUTES AN EXPRESSION OF THE SURVEYOR'S PROFESSIONAL OPINION, STATEMENT, AND BELIEF, AND NOT A GUARANTEE OF THE ACCURACY OF THE SURVEY. THE SURVEYOR'S PROFESSIONAL LIABILITY INSURANCE POLICY DOES NOT COVER THE SURVEYOR'S PROFESSIONAL LIABILITY FOR THIS SURVEY.
5. THE SURVEYOR'S PROFESSIONAL LIABILITY INSURANCE POLICY DOES NOT COVER THE SURVEYOR'S PROFESSIONAL LIABILITY FOR THIS SURVEY.
6. THE SURVEYOR'S PROFESSIONAL LIABILITY INSURANCE POLICY DOES NOT COVER THE SURVEYOR'S PROFESSIONAL LIABILITY FOR THIS SURVEY.
7. THE SURVEYOR'S PROFESSIONAL LIABILITY INSURANCE POLICY DOES NOT COVER THE SURVEYOR'S PROFESSIONAL LIABILITY FOR THIS SURVEY.

GENERAL NOTES:

1. THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY OR WHICH IS BASED THEREON, WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEW JERSEY.
2. OTHER DOCUMENTS FROM REFERENCES TO THE PROPERTY LINES SHOWN HEREON ARE NOT TO BE USED FOR ESTABLISHING PROPERTY LINES.
3. ANY CONFLICTS OR DISCREPANCIES BETWEEN THE PROPERTY LINES SHOWN HEREON AND ANY OTHER DOCUMENTS OR RECORDS SHALL BE RESOLVED BY THE SURVEYOR'S PROFESSIONAL OPINION. THE SURVEYOR'S PROFESSIONAL LIABILITY INSURANCE POLICY DOES NOT COVER THE SURVEYOR'S PROFESSIONAL LIABILITY FOR THIS SURVEY.
4. PROPERTY SUBJECT TO ANY AND ALL EASEMENTS, RESTRICTIONS, AND/OR ENCUMBRANCES.
5. THE SURVEYOR'S PROFESSIONAL LIABILITY INSURANCE POLICY DOES NOT COVER THE SURVEYOR'S PROFESSIONAL LIABILITY FOR THIS SURVEY.
6. THE SURVEYOR'S PROFESSIONAL LIABILITY INSURANCE POLICY DOES NOT COVER THE SURVEYOR'S PROFESSIONAL LIABILITY FOR THIS SURVEY.
7. THE SURVEYOR'S PROFESSIONAL LIABILITY INSURANCE POLICY DOES NOT COVER THE SURVEYOR'S PROFESSIONAL LIABILITY FOR THIS SURVEY.

SURVEY REFERENCES:

1. PROPERTY MAP AS SHOWN ON BLOCK 127, LOT 5 SHEET NO. 11 AS SHOWN ON THE CITY OF LONG BRANCH.
2. THE FOLLOWING DOCUMENTS WERE REVIEWED UPON OBTAINING THE PREPARATION OF THIS SURVEY:
 - a. DEED OF CONVEYANCE AS RECORDED WITH THE MONMOUTH COUNTY CLERK IN BOOK 9714, PAGE 216.
 - b. DEED OF CONVEYANCE AS RECORDED WITH THE MONMOUTH COUNTY CLERK IN BOOK 9714, PAGE 213 (FOR LOT 7).
3. VERTICAL CURVE IS HANDED.



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 200 W. 10th Street
 Ocean City, NJ 08226
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Ralph C. Ford
RALPH C. FORD
 LICENSED PROFESSIONAL LAND SURVEYOR
 STATE OF NEW JERSEY LICENSE NO. 20340

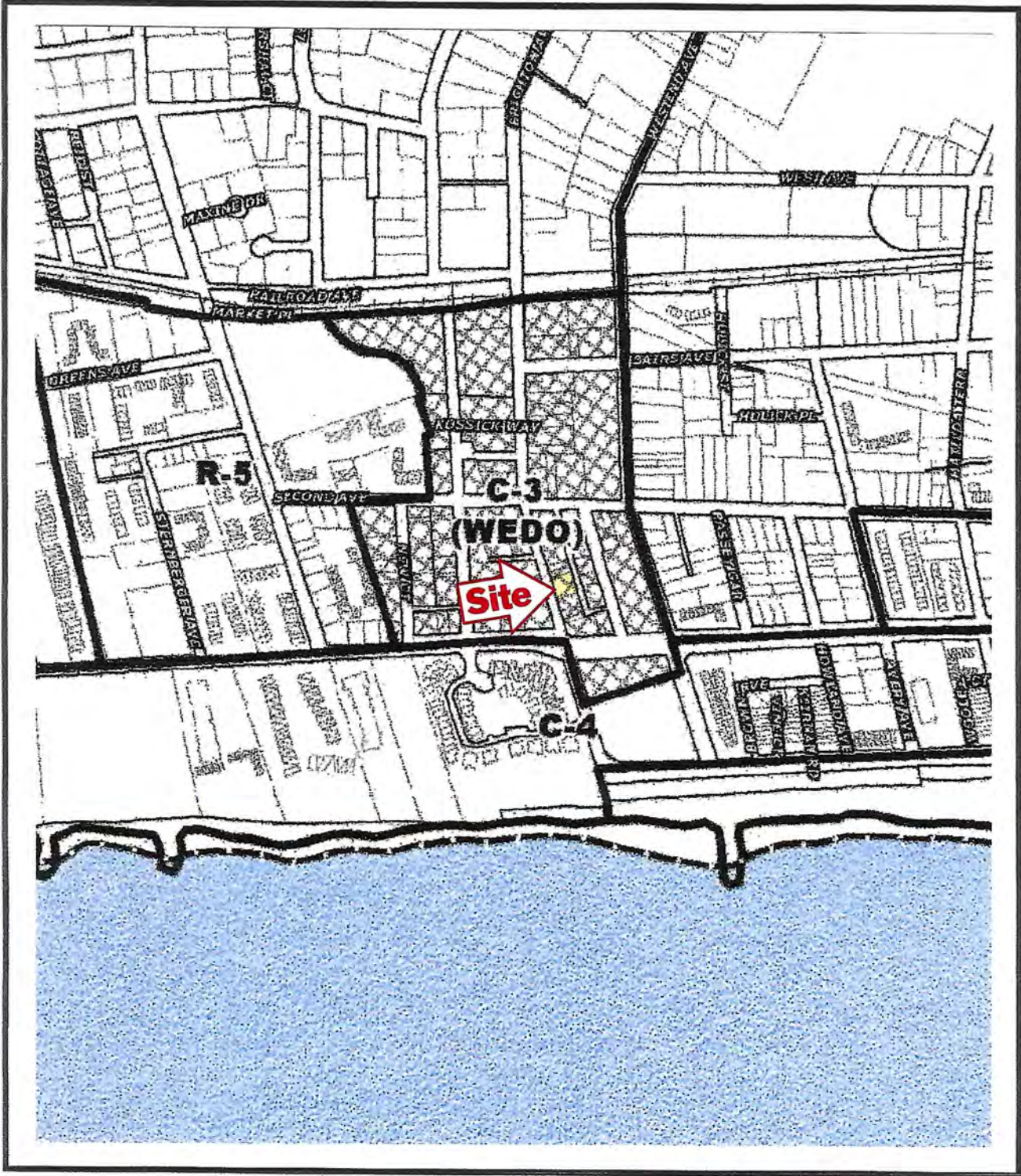
GRAPHIC SCALE
 1 INCH = 10 FEET

NO.	DATE	REVISIONS

DATE	
SCALE	
PROJECT	
DATE	

2016-01-034
 63-57 BRIGHTON AVENUE
 LOT 6, BLOCK 127
 TAX MAP SHEET NO. 11
 CITY OF LONG BRANCH, MONMOUTH COUNTY, NEW JERSEY
 FEBRUARY 3, 2012
 SHEET 1 OF 1

Zoning Map



- C. Area and bulk requirements. Area and bulk requirements shall be as specified in § 345-7.
- D. Uses requiring a conditional use permit. These uses shall be subject to Article VII, Conditional Uses: [Amended 2-14-1995 by Ord. No. 8-95]
 - (1) Public utilities.
 - (2) Motor vehicle service stations.
 - (3) Senior citizen housing. (See Article VI, Supplementary Regulations, and Article VII, Conditional Uses.)
 - (4) Secondhand stores.
- E. Additional requirements. Where the property line of a proposed commercial lot abuts a residential use or zone, a strip of land at least 10 feet in width adjacent to the abutting property line shall be kept free of any building development, except for landscaping which shall include a buffer strip as defined by this chapter. Wherever these provisions apply, 10 feet shall be added to the required building setback line standard. (See § 345-11U.)

§ 345-31. C-2 Professional Office and Related Services District.

- A. Permitted uses. Permitted uses shall be as follows:
 - (1) All uses permitted in the S-1 Professional Office District.
 - (2) Related services, including but not limited to the following: printing, business machines and office supplies.
 - (3) Farm markets/community farmers' markets (see §§ 345-10K and 345-3).
[Added 5-26-2009 by Ord. No. 9-09]
- B. Permitted accessory uses. Permitted uses shall be as specified in the C-1 Commercial District, § 345-30B.
- C. Area and bulk requirements. Area and bulk requirements shall be as specified in § 345-7.
- D. Uses requiring a conditional use permit. Uses requiring a conditional use permit shall be as follows:
 - (1) (Reserved)^[1]
 - [1] *Editor's Note: Former Subsection D(1), Community residences for the developmentally disabled and community shelters for victims of domestic violence, was repealed 11-10-1998 by Ord. No. 39-98 and 2-23-1999 by Ord. No. 15-99.*
 - (2) Churches and places of worship.

§ 345-32. C-3 Neighborhood Commercial District.

[Amended 6-22-1993 by Ord. No. 19-93]

- A. Permitted uses. Permitted uses shall be retail uses of a neighborhood convenience nature of the following types:
 - (1) Retail trade stores in new or previously unused general merchandise.
[Amended 2-14-1995 by Ord. No. 8-95]
 - (2) Retail trade stores in food.
 - (3) Retail trade stores in apparel and accessories.
 - (4) Retail trade eating and drinking establishments.
 - (5) Variety stores.
 - (6) Drugstores.
 - (7) Liquor stores.
 - (8) Florists.
 - (9) Finance, insurance and real estate services.
 - (10) Professional services.
 - (11) Municipal buildings, parks and playgrounds.
 - (12) Temporary buildings, for uses incidental to construction work, provided that such buildings are removed upon completion or abandonment of the construction work.

- (13) Delicatessens.
 - (14) Railroad stations and/or yard and associated facilities.
 - (15) Outdoor dining, subject to § **345-11Z**.
 - (16) Convenience store.
 - (17) Hair styling shop/tanning salon.
[Amended 2-14-1995 by Ord. No. 8-95]
 - (18) Health spa/gym. (See § **345-3**, Definitions.)
 - (19) Antique, used book, memorabilia and collectible dealers.
[Added 2-14-1995 by Ord. No. 8-95]
 - (20) Dry cleaners.
[Added 4-10-2001 by Ord. No. 15-01; amended 5-8-2001 by Ord. No. 17-01]
 - (21) Tailors.
[Added 4-10-2001 by Ord. No. 15-01; amended 5-8-2001 by Ord. No. 17-01]
 - (22) Laundromats.
[Added 5-8-2001 by Ord. No. 17-01]
 - (23) The following additional uses shall also be permitted within the existing C-3 Neighborhood Commercial Zone area bounded by Bath Avenue, Westwood Avenue and the New Jersey Transit railroad tracks.
[Added 5-8-2001 by Ord. No. 17-01]
 - (a) Food preparation corporations, both retail and wholesale.
 - (b) Fuel oil distributors/heating repair services.
 - (c) Warehouse/self-storage facilities.
 - (24) Farm markets/community farmers' markets (see §§ **345-10K** and **345-3**).
[Added 5-26-2009 by Ord. No. 9-09]
 - (25) Class 5 licensed retailer without a cannabis consumption area.
[Added 12-8-2021 by Ord. No. 22-21]
- B. Permitted accessory uses. Permitted accessory uses shall be as specified in the C-1 Commercial District, § **345-30B**.
- C. Area and bulk requirements. Area and bulk requirements shall be as specified in § **345-7**.
- D. Uses requiring a conditional use permit. These uses shall be subject to Article **VII**, Conditional Uses:
- (1) As specified in the C-1 Commercial District, § **345-30D**.
- E. Conditional uses; conditions.
[Added 4-28-2015 by Ord. No. 5-15]
- (1) Mixed-use multifamily units above ground-level retail buildings on development parcels of 20,000 square feet or greater shall conform to the following additional conditions:
 - (a) Functional entries for upper-floor residential or office units shall be consolidated into an entry lobby located in such a way that it does not interrupt ground-level retail functional entries.
 - (b) Any street-level retail facade facing a public street or sidewalk shall have clear glass on at least 60% of the facade between three and eight feet above grade.
 - (c) No more than 40% of the length of any facade, or 50 feet, whichever is less, may be blank (without doors or windows).
 - (2) Mixed-use institutional uses above ground-level retail buildings on development parcels of 20,000 square feet or greater shall conform to the following additional conditions:
 - (a) Institutional uses shall be limited to educational, religious or charitable uses.
 - (b) The ground-level facade and ground-floor lobby area of the upper-level conditional use shall not be greater than 25% of the total ground-level floor area of the building, with not more than 20% of the ground-floor level of the upper-level conditional use with an exterior wall that fronts on Ocean Avenue. The ground-level lobby area may include a reception area, administrative offices and one conference room for meetings or small group assembly for a maximum of 25 persons, but all rooms used or intended for large group assembly shall only be located on the second floor or above.

- (c) Any street-level retail facade facing a public street, sidewalk or park shall have clear glass on at least 60% of the facade between three and eight feet above grade.
- (d) No more than 40% of the length of any street-level facade, or 50 feet, whichever is less, may be blank (without doors or windows).
- (e) Functional entries for upper floor institutional uses shall be consolidated into an entry lobby located at the end or at a corner of the building in such a way that it does not interrupt ground-level retail functional entries. Buildings on corner lots or with frontage on public spaces (sidewalk, plaza, park, etc.) shall have the functional entry at the corner of the building.

§ 345-32.1. West End Design Overlay (WEDO) District regulations.

- A. Purpose. The purpose of the West End Design Overlay District is to establish a framework for infill development with a greater diversity of uses than are generally permitted in the C-3 Neighborhood Commercial District and to recognize the unique architectural and cultural character of the West End C-3 District as more of a "village" within the City of Long Branch.
- B. Definitions. As used in this section, the following terms shall have the meanings indicated:

INSTITUTIONAL USES ABOVE GROUND-LEVEL RETAIL

Buildings with an educational, religious or charitable use on the second floor or above a building that contains retail on the ground floor.



- C. Permitted uses.
 - (1) All uses permitted in § 345-32, C-3 Neighborhood Commercial (C-3) Zone, except that supermarkets are also permitted.
 - (2) Multifamily units and/or offices above ground-level retail (mixed use) on development parcels less than 20,000 square feet).
 - (3) Parking structures, subject to the design standards herein.
- D. Conditional uses.
 - (1) Multifamily units above ground-level retail (mixed use) on development parcels of 20,000 square feet or greater.
 - (2) Institutional uses above ground-level retail (mixed use) on development parcels of 20,000 square feet or greater.
 - (3) Adaptive reuse of the West End School for one of the following uses:
 - (a) Visual and/or performing arts educational and performance facility.
 - [1] Performing arts theater, inclusive of performance venues of varying sizes, such as cabaret or dinner theatre, cafe, intermission concessions and space for receptions before or after performances or for fundraising events, but excluding independent full-service restaurants.
 - [2] Instruction in performing arts, inclusive of dance, instrumental, vocal, composition, drama, playwriting, musical theater, set design and construction, audio engineering and recording or related arts.
 - [3] Instruction in the visual arts, inclusive of illustration and rendering, sculpture, filmmaking, screenplay and related arts, as well as display space or galleries for students, faculty and artists-in-residence.

[4] Temporary living accommodations for professional or student performers and artists during periods of performances or special programs, such as performing and visual arts "camps."

(b) Specialty education, such as culinary schools, computer training, secretarial schools, cosmetology schools or similar professional, business or vocational schools.

(c) Professional offices.

E. Permitted accessory uses. Accessory uses and structures are permitted that are customarily incidental and subordinate to, and located on the same lot, or within the same building in the case of mixed use buildings, as a principal permitted use.

F. Height and bulk standards.

(1) Lot and bulk requirements shall be the same as for the C3 Neighborhood Commercial Zone District pursuant § **345-114** except that building height may be permitted to three stories and 35 feet.

G. Conditional uses; conditions.

(1) Mixed-use multifamily units above ground-level retail buildings on development parcels of 20,000 square feet or greater shall conform to the following additional conditions:

(a) Functional entries for upper-floor residential or office units shall be consolidated into an entry lobby located in such a way that it does not interrupt ground-level retail functional entries.

(b) Any street-level retail facade facing a public street or sidewalk shall have clear glass on at least 60% of the facade between three and eight feet above grade.

(c) No more than 40% of the length of any facade, or 50 feet, whichever is less, may be blank (without doors or windows).

(2) Mixed-use institutional uses above ground-level retail buildings on development parcels of 20,000 square feet or greater shall conform to the following additional conditions:

(a) Institutional uses shall be limited to educational, religious or charitable uses.

(b) The ground-level facade and ground-floor lobby area of the upper-level conditional use shall not be greater than 25% of the total ground-level floor area of the building, with not more than 20% of the ground-floor level of the upper-level conditional use with an exterior wall that fronts on Ocean Avenue. The ground-level lobby area may include a reception area, administrative offices and one conference room for meetings or small group assembly for a maximum of 25 persons, but all rooms used or intended for large group assembly shall only be located on the second floor or above.

(c) Any street-level retail facade facing a public street sidewalk or park shall have clear glass on at least 60% of the facade between three and eight feet above grade.

(d) No more than 40% of the length of any street-level facade, or 50 feet, whichever is less, may be blank (without doors or windows).

(e) Functional entries for upper floor institutional uses shall be consolidated into an entry lobby located at the end or at a corner of the building in such a way that it does not interrupt ground-level retail functional entries. Buildings on corner lots or with frontage on public spaces (sidewalk, plaza, park, etc.) shall have the functional entry at the corner of the building.

(f) Institutional uses may utilize up to 35% of the basement area of the building for storage and/or accessory uses connected with the operation and/or function of the institutional use.

[Added 12-26-2018 by Ord. No. 29-18]

H. Supplementary parking requirements for all uses. In addition to the requirements in § **345-42**, the following standards shall also be applied in the WEDO District:

(1) Off-street parking spaces shall be provided on the same lot as the use which they are intended to serve or on an adjacent lot in common ownership or secured by a long term instrument, such as a lease, acceptable to the Zoning Officer.

(2) Parking areas may be located in any yard other than the required front yard, but shall be visually screened from adjoining public streets and properties, and shall comply with all other requirements of the parking regulations applicable to all zones as provided in this chapter.

(3) Shared parking arrangements among adjacent properties not under common ownership may be permitted if the owners demonstrate to the satisfaction of the Planning Board that the supply of parking spaces will be adequate to service the aggregate demand of the uses sharing the parking based on such factors as alternating peak hours.

- (4) Irrespective of any contrary provisions of § 345-42, parking requirements for any adaptive reuse of the West End School and for conditional use institutional over ground-level retail mixed use buildings shall be calculated based on an overall ratio of one parking space for 400 square feet of floor area, inclusive of all uses, except that enclosed parking, covered parking, unenclosed rooftop space, and first floor space devoted to educational, religious or charitable uses in accordance with Subsection G(2) above, are exempt from floor area calculation. Additional parking equal to 20% of the parking required for the conditional institutional use shall be provided to allow for occasional assembly demand that exceeds the ratio of one space per 400 square feet for institutional uses. Such additional parking shall be designated and marked for public use when not needed for assembly demands.
 - (5) No parking space shall impede pedestrian access to any functional entryway.
 - (6) In no case shall the number of parking spaces exceed the minimum requirements by more than 5%, except as provided in Subsection H(3) above.
- I. Design standards. The following design standards are intended to reinforce the West End "village" as a compact, walkable center with active street life and a cohesive built environment where existing and proposed commercial, residential and institutional developments are integrated. These design standards are intended to maximize flexibility of the design to sustain the character and charm of the district. All standards set forth in Chapter 345 of the Code of the City of Long Branch shall continue to apply except when inconsistent with the design standards set forth below.
- (1) Pedestrian circulation, bicycle parking and storage.
 - (a) Off-street parking and service access shall be designed to avoid the backing in and out of streets.
 - (b) Sidewalks shall be provided to connect new development with the public pedestrian circulation system within the WEDO District. All sidewalks should be durably paved and smoothly surfaced to provide for the free movement of pedestrians. All sidewalks and pathways must be designed to provide access for the physically disabled. Access ramps shall be conveniently placed and sloped to provide easy connection to streets and sidewalks, in conformance with the Americans with Disabilities Act.
 - (c) Structured parking may be contained within, under or attached to buildings. Parking structures or podium-type parking under buildings may not front toward the public space or Brighton Avenue. Where parking structures front on public streets, such may feature liner buildings or ground floor space along the sidewalk designed as retail, commercial or office space.
 - (d) Every development shall be provided with garbage and refuse storage and collection areas suitable for containerized collection, screened from view by a solid fence on three sides and located away from the fronts of buildings.
 - (e) Provide at least one secured, enclosed bicycle storage space per residential unit.
 - (f) Bike racks shall be provided at a rate of one multiloop bike rack per every 20 on-site parking spaces, but not less than the greater of one bicycle space per business or four bicycle spaces per project site for retail or four bicycle spaces per building for nonretail uses.
 - (g) For office uses, a minimum of one space per 20 off-street parking spaces provided per project will be reserved for parking for shared car services (such as "zip car") or car pool vehicles and be located near functional entryways.
 - (2) Landscape treatments.
 - (a) All plants, trees and shrubs shall be installed in accordance with a landscape plan and schedule provided by the developer, subject to the approval of the Planning Board.
 - (b) Landscape shall be provided throughout the infill development project to create spatial definition or separation, shade, visual interest, seasonal color, visual buffering, microclimatic enhancement, and habitat and to improve safety.
 - (c) Indigenous (native) plant species shall be primarily specified for planting and invasive exotic species shall be avoided. Any landscaping which is not resistant to the environment, or that dies within two years of planting, shall be replaced by the developer.
 - (d) In landscaped spaces, passive systems such as cisterns or rain barrels and water gardens that collect rainwater for irrigation or recharge shall be utilized to the extent feasible.
 - (e) Only soil moisture-sensing irrigation systems using nonpotable water shall be permitted, except that where irrigation is not used, all plant materials shall be drought-tolerant species.
 - (3) Building orientation, massing and facade composition.
 - (a) New buildings should be designed to be an integral part of the West End building mix and be developed with appropriate consideration for both proposed and existing buildings with respect to height, mass, location, materials, orientation, signs, lighting and use.

- (b) Buildings shall front on and public streets to provide form and function to the streetscape. The streetscape should be continuous and varied through the use of street furniture, landscaping, building articulation, building frontage setbacks and changes in sidewalk types and textures. Long buildings should be divided at a scale comparable to that of other buildings on the rest of the block or adjacent blocks, with a building offset (stepback, bump-out) of at least four feet at least every 75 feet. Driveway intersections with the public street should be minimized to avoid excessive interruptions in the streetwall and conflicts with pedestrians.
- (c) Buildings shall be designed so as to present an articulated facade from all vantage points. Parking structures shall not front on the public street unless architecturally integrated into the principal building using techniques such as an exterior clad in a vine-covered trellis, graphic panels, solar panels, a window-like facade treatment, liner building or ground floor space along the sidewalk designed as retail, commercial or office space.



Figure 1: Example of parking structure with integrated architectural treatments and with ground-level retail space.

- (d) The architectural treatment of the front facade shall be continued in its major features around all visibly exposed sides of a building with the exception of parking structures or that portion of a building containing a parking structure. All sides of a building shall be architecturally designed to be consistent with regard to style, materials, colors and details. Blank wall or service area treatment of side and/or rear elevations visible from public view shall be avoided.
- (e) New or renovated commercial and residential, and the residential and commercial portions of the buildings that include institutional uses permitted by this section, should be designed utilizing base, middle and top forms as the primary method relating buildings to each other.
- (f) The base shall be considered the first story of the facade facing a public street, depending on the overall heights of the building. The design of the base, as well as the quality and durability of its materials, should be emphasized to create visual interest and support pedestrian activity. The building's base should be presented to the Planning Board at a larger scale of drawing and greater detail than the remainder of the facade to ensure it meets the building design objectives.
- (g) In addition to the base, the exterior design shall include a middle field section and a cap on the top. The middle of the building shall be differentiated from the base by a horizontal transition line. The transition line's specific location shall be determined primarily by the overall height of the building and that of any adjacent buildings. If adjacent buildings are lower than the proposed building, then the transition line should relate to such adjacent building. A horizontal transition line should also be established separating the middle field from the cap or top of the buildings.
- (h) The base transition line should range from one-fifth to one-quarter of the overall height. The upper transition line, articulating the cap, should be placed approximately one-eighth of the overall height from the top. Transition lines may consist of a continuous, shallow balcony, a shallow recess, an articulated trim course

cornice, fenestration or other appropriate means. The transition should be supported by a change of window rhythm or size and a change in material, color or texture.

- (i) Building exteriors shall have vertical and/or horizontal offsets to create visual breaks on the exterior. Long, monotonous, uninterrupted walls or roof planes shall be avoided. Building wall offsets, including projections such as balconies, canopies, awnings, and signs, recesses, and changes in floor level shall be used in order to add architectural interest and variety and to relieve the visual effect of a simple, long wall (see Figure 2). Similarly, roofline offsets, dormers, or gables shall be provided in order to provide architectural interest and variety to the massing of a building and to relieve the effect of a single, long roof.



Figure 2: Example of block front elevation with horizontal and vertical offsets to add visual interest.

- (j) The front doors of all buildings shall be visible from the street. If located more than 10 feet from the front building line, their location must be reinforced with additional graphics, lighting, marquees or canopies.
- (k) Functional building entrances shall be provided at an average of at least every 75 feet (see Figure 3, taken from LEED-ND Rating System NPD Credit 1). All entrances to a building, except service and emergency egress doors, shall be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, porticoes, porches, overhangs, railings, balustrades and other elements, where appropriate. Any such element utilized shall be architecturally compatible with the style, materials, colors and details of the building as a whole, as shall the doors. The main entrance shall face the street on which the property fronts.

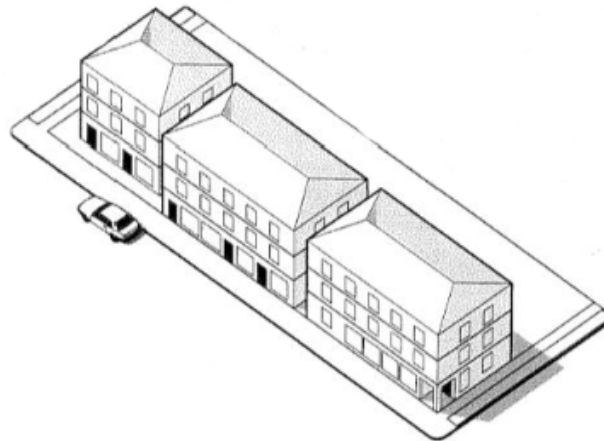


Figure 3: Example of functional building entries at minimum average distances along blocks.

- (l) A minimum of one facade element shall align horizontally with adjacent buildings. Facade elements include, but are not limited to, rooftops, cornices, signs, storefront windows, windows above the first floor and awnings. Awnings are encouraged. There should be a balance between variety and harmony of building facades. Maintain the similarity in the building width. New or larger buildings on parcels shall incorporate architectural elements which reflect the width of adjacent buildings. Successful methods for achieving this include, but are not limited to, window pattern and detail placement.
- (m) In general, it is preferred to keep the street facade built to the property line in alignment with adjacent buildings.
- (n) Windows shall be primarily vertically proportioned. Large areas of glass curtain walls or strip windows of more than 15 feet in length are discouraged, as are tinted and highly reflective glass. Window openings shall have sills and heads of masonry or stone. These may be of precast concrete, limestone, granite, brick soldier courses, or slabs exposed only for the length of the window. Masonry units may be turned at the wall opening to visually create a thick wall and should be used in the design of balconies, loggias and larger openings.
- (o) Ground-floor retail, services, and restaurant uses shall have large transparent windows. Such windows shall be framed by the surrounding wall and shall be a minimum of 60% of the total ground-level facade area adjoining the sidewalk (see Figure 4, taken from NPD Credit 1 of the LEED-ND Rating System of the USGBC). The window wall facade area may be reduced if, due to a particular use or settings, the provision of windows will

present concerns for aesthetic design or security. However, the facade design should employ an arrangement of materials that reflects the required window area and/or lines to be compatible with the intent of these guidelines.

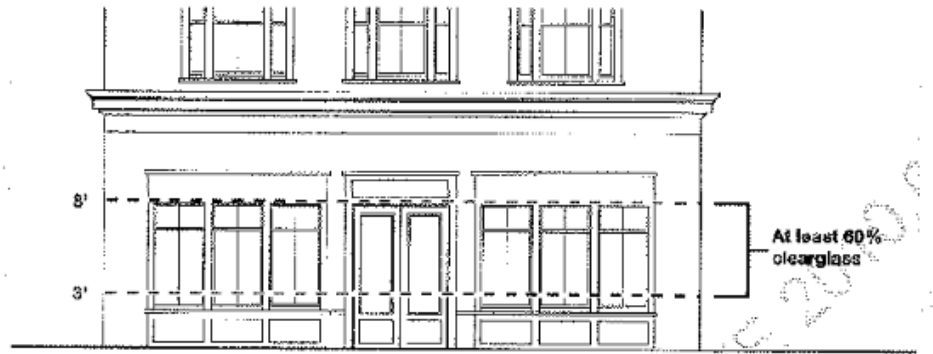


Figure 4: Example of ground-level retail and service uses with minimum amounts of clear glass facades.

- (p) All buildings shall provide scale-defining architectural elements or details at the first two floor levels minimum, such as windows, spandrels, awnings, porticos, pediments, cornices, pilasters, columns and balconies.
- (q) The predominant material of all street walls on primary and secondary streets shall be brick, precast, cement-board siding, wood and finished masonry block, or curtain wall. Stucco may be used as an accent. All materials and colors shall be approved by the Planning Board.
- (r) Shop fronts should have a kick plate that ranges in height from 18 inches to 42 inches running continuously beneath the required fenestration.
- (s) Public access to commercial and governmental buildings shall be provided at sidewalk grade. The primary floor of and access to mixed use buildings may be elevated.
- (t) Awnings, which add visual richness to the commercial corridor while enhancing the quality of public walkways, are encouraged for all storefronts. Awnings shall have fixed or retractable metal framework, with vinyl laminated polyester base scrim awning fabric to blend with storefront paint colors.
- (u) Canopies, unlike awnings, are nonretractable. They shall be constructed of wood or metal framing, standing-seam metal roof, plywood and molded millwork trim. Canopies shall incorporate signage and down lighting. Security shall be implemented so that it cannot be seen, and security grille housing is specifically prohibited.
- (v) All awnings and canopies shall be securely attached to the building so that the lowest part of the awning or canopy is mounted a minimum of eight feet and a maximum of 12 feet above the sidewalk at the storefront.
- (w) In conjunction with Figure 5, appropriate design of the corner of a block shall include one of the following patterns:
 - [1] Opening the space at ground level for people to walk across the corner, with the building mass above redefining the corner.
 - [2] A recessed entry at the corner such as the familiar angled wall with an entry door.
 - [3] A corner window with an important view into the building.
 - [4] Balconies or bay windows that wrap the corner.
 - [5] A tower element to emphasize the corner.



Figure 5: Example of architectural corner treatment.

- (x) Multistory buildings with flat roofs shall provide light color roof surfaces with a Solar Reflectance Index (SRI) of 78 or greater (LEED-NC Rating System - Sustainable Sites (SS) Credit 7.2) for at least 75% of the roof area. Green roof plantings and solar photovoltaic systems on roofs and parking decks shall be permitted and shall not be counted in the area required for highly reflective roof surfaces above.
- (4) Design guidelines for institutional uses.
- (a) Buildings, or portions of buildings, intended for institutional uses permitted in the West End District shall be integrated in the neighborhood using appropriate scale with respect to height, mass and location and shall meet the bulk requirements specified herein. The portions of such buildings devoted to permitted institutional uses shall be subject to the design standards set forth in Subsection **I(4)(b)** through **(e)** below.
 - (b) Institutional buildings, or portions of buildings devoted to institutional uses, shall be designed with a strong sense of place with architecture that is readily identifiable as to its use. The use of traditional familiar design elements, icons or symbols associated with institutional uses such as places of worship (arched or gothic windows, steeples, towers, domes, colored or decorative glass windows, stars, crosses, permanent signs, etc.) may be included in the facade designs of buildings for institutional uses.
 - (c) Building facades for institutional buildings or portions of buildings devoted to institutional uses, may include enduring materials such as brick, stone masonry and metals that are usually incorporated into institutional buildings.
 - (d) Entrances for institutional uses shall be at the street level. Main and accessory entrances shall be readily identifiable. In the case of institutional assembly occupancies, interior lobby spaces shall be designed with sufficient capacity to accommodate ingressing and egressing users without crowding or obstructing the public sidewalk.
 - (e) In mixed use structures, horizontal building elements of institutional uses above other first floor permitted uses may be designed to architecturally match the attendant structures that are provided to allow entry or egress into the facility. The first floor of such mixed use structure, other than the limited portion devoted to the institutional use, shall comply with the standards stated in Subsection **G(2)** above.
 - (f) Not more than 50% of the entire length of any upper-level facade wall devoted to an institutional use, measured in a linear manner along the street, shall be devoid of windows, except that where such a wall is necessary for the operation of the institutional use, the mass of such a facade shall be visually broken up by vertical and horizontal architectural elements, such as building breaks, architectural details (such as cornices, quoins, or columns), or variations in materials, patterns, colors or texture.
- (5) Antennas.
- (a) Excepting the antenna itself, all parts and components of personal communications antennas, satellite dishes, and television and radio antennas shall be screened from view regardless of elevation, or shall be disguised within an enclosed structure. The screening shall be designed as part of the overall design theme of the building to which it is associated.
 - (b) Dish antennas may not exceed three feet in diameter. Mechanical equipment located on building roofs shall be screened so as not to be visible from the ground level from adjacent developments and from public streets and spaces. Mechanical equipment at ground level shall be screened and in the rear.
- (6) Lighting.

- (a) Lighting levels along paved portions of public walks shall be an average of no less than one foot candle for commercial areas and 0.5 foot candle for residential areas.
 - (b) New fixtures serving to light streets shall be the same as existing decorative street lights within the West End District and installed in accordance with the same specifications. The fixtures may include attachments to accommodate such amenities as banners and flower pots.
 - (c) The design for a proposed facade must consider the appearance of the building in the evening and develop an exterior lighting plan that includes display window lighting, building lighting, and pedestrian-scaled lighting for both buildings and pedestrian areas within the site. Lighting shall be warm in color, with control of glare for the pedestrian and minimization of light pollution.
- (7) Streetscape.
- (a) Site furnishings may include elements such as benches, gazebos, trash and recycling receptacles, bicycle racks, drinking fountains, kiosks, sculptural elements, decorative fountains, bollards, decorative fences, seat walls, and pedestrian-scale lighting, subject to the review and approval of the Long Branch Planning Board.
 - (b) Freestanding newspaper and advertising dispensers shall not be permitted in the right-of-way of primary streets and shall be incorporated into approved buildings or pavilions.
 - (c) Outdoor cafes may extend onto the public right-of-way upon issuance of a sidewalk cafe license pursuant to § **181-15**, License required.
 - (d) Any new or renovated public sidewalk shall be designed and constructed in accordance with the City of Long Branch West End Streetscape Standards.
- (8) Signage.
- (a) The temporary display of signs, banners, flags, pennants and similar devices, in connection with special events or activities of a public or nonprofit nature, or upon the occasion of the opening of a new business use, shall be permitted, provided such display shall not exceed 14 days and shall not occur more than four times per calendar year.
 - (b) All signs within the project area shall conform to the Design Guidelines Handbook (EN238) unless otherwise approved by the Long Branch Planning Board as part of a development approval in keeping with the architectural character of West End.
- (9) Design Review Committee. All major development applications and all Conditional Use approvals must be reviewed by the Design Review Committee as appointed by the Mayor. The Planning Board shall refer applications to the Design Review Committee for comments on any such major development review application or Conditional Use approval.

§ 345-33. C-4 Resort Commercial District.

A. Permitted uses. Permitted uses shall be as follows:

- (1) Hotels, subject to the provisions of Article **VI**, Supplementary Regulations.
[Amended 9-26-2017 by Ord. No. 23-17]
- (2) Municipal buildings, parks and playgrounds.
- (3) Temporary buildings for uses incidental to construction work, provided that such buildings are removed upon completion or abandonment of the construction work.
- (4) One-family dwellings, subject to the bulk requirements for the R-1 Residential District as they are specified in § **345-7**.
- (5) Townhouses, subject to the provisions of § **345-53** and at a maximum density of six units per acre.
- (6) Waterfront mixed residential units, subject to the provisions of § **345-55**.
[Added 8-10-1999 by Ord. No. 32-99]

B. Permitted accessory uses. Permitted accessory uses shall be as specified in the C-1 Commercial District, § **345-30B**, and the R-1 Residential District, § **345-20B**.

C. Area and bulk requirements. Area and bulk requirements shall be as specified in §§ **345-7** and **345-53**.

D. Uses requiring a conditional use permit. These uses shall be subject to Article **VII**, Conditional Uses: [Amended 2-14-1995 by Ord. No. 8-95]

- (1) Beach clubs.

See § 345-30.

Permitted uses	Commercial
Conditional uses	Senior citizen, motor vehicle station, public utilities
Minimum lot area (square feet)	None
Minimum lot frontage (feet)	None
Minimum lot depth (feet)	None
Maximum lot coverage of all structures Front yard setback (feet)	None As determined by average setback of existing commercial buildings in the same block front
Side yard setback (feet)	None
Rear yard setback (feet)	None
Maximum building height, principal building	None
Maximum building height, accessory building	15 feet
Minimum gross habitable floor area	N/A
Other requirements and supplementary notes	See § 345-30E.
Permitted accessory uses	See § 345-30.

§ 345-113. C-2 Professional Office/Related Services Zone District.

See § 345-31.

Permitted uses [Amended 5-26-2009 by Ord. No. 9-09]	One-family residential, professional office, related services, farm markets/community farmers' market
Conditional uses	Community residence, church
Minimum lot area (square feet)	10,000
Minimum lot frontage (feet)	100
Minimum lot depth (feet)	100
Maximum lot coverage of all structures Front yard setback (feet)	50% 40
Side yard setback (feet)	20 feet each
Rear yard setback (feet)	None
Maximum building height, principal building	3 stories or 40 feet
Maximum building height, accessory building	15 feet
Minimum gross habitable floor area	N/A
Other requirements and supplementary notes	Side yard requirements as indicated, except where the side yard is adjacent to a public street, in which case such side yard shall meet the front yard requirements of the zone in which it is located
	See § 345-30E.
	Rear yard herein defined as Branchport Creek
Accessory structures and uses [Amended 4-10-2007 by Ord. No. 16-07]	1 1/2 stories and/or fifteen-foot maximum, minimum setback 10 feet. See § 345-11P for other requirements. See § 312 for tennis court requirements. See § 345-31.

§ 345-114. C-3 Neighborhood Commercial Zone District.

[Added 4-28-2015 by Ord. No. 5-15]

See § 345-32.

Permitted uses	Commercial
Conditional uses	Senior citizen, motor vehicle station, public utilities
Conditional uses, C-3 District WEDO only	Multifamily units and above ground-level retail on development parcels of 20,000 square feet or greater, institutional uses above ground-level retail (mixed-use) on development parcels of 20,000 square feet or greater and adaptive reuse of the West End School for one of the following uses: visual and performing arts education facility, specialty education such as a culinary school, computer training, secretarial school, cosmetology schools or similar professional business or vocational schools and professional offices. ^[1]
Minimum lot area (square feet)	None
Minimum lot frontage (feet)	None
Minimum lot depth (feet)	None
Maximum lot coverage of all structures	None

Front yard setback (feet)	As determined by average setback of existing commercial buildings in the same block front
Side yard setback (feet)	None
Rear yard setback (feet)	None
Maximum building height, principal building	2 1/2 stories or 30 feet
Maximum building height, accessory building	15 feet
Minimum gross habitable floor area	N/A
Other requirements and supplementary notes	See § 345-30E.
Permitted accessory uses	See § 345-32.

[1] *Editor's Note: See also § 345-32.1, West End Design Overlay (WEDO) District.*

§ 345-115. C-4 Resort Commercial Zone District.

[Amended 2-14-1995 by Ord. No. 8-95; 1-9-1996 by Ord. No. 50-95; 8-10-1999 by Ord. No. 31-99; 4-10-2007 by Ord. No. 16-07; 9-26-2017 by Ord. No. 23-17]

See § 345-33.

Permitted uses	One-family residential, townhouses (6), hotels, waterfront mix residents (10-30)
Conditional uses	Beach club, community residence, church
Minimum lot area (square feet)	Residential: 10,000; others: 2 acres
Minimum lot frontage (feet)	Residential: 100; others: 200
Minimum lot depth (feet)	Residential: 100; others: 200
Maximum lot coverage of all structures	35% (60% waterfront mix residential)
Front yard setback (feet)	30; townhouses, hotels, waterfront mix residential (see Article VI)
Side yard setback (feet)	10 feet each; townhouses, hotels, waterfront mix residential (see Article VI)
Rear yard setback (feet)	30; townhouses, hotels, waterfront mix residential (see Article VI)
Maximum building height, principal building	Residential: 2 1/2 stories or 30 feet; hotels and townhouses: 3 stories or 35 feet; waterfront mix residential (see Article VI)
Maximum building height, accessory building	15 feet
Minimum gross habitable floor area	One-family: 1 story or 1,600 square feet
	1 1/2 stories: 2,200 square feet, with not less than 1,400 square feet on first floor
	2 stories: 2,800 square feet, with not less than 1,400 square feet on first floor
	Hotels: 300 square feet per unit
	Townhouses: see § 345-53
	Waterfront mix residential: see § 345-55
Other requirements and supplementary notes	See yard requirements as indicated, except where the side yard is adjacent to a public street, in which case such side yard shall meet the front yard requirements of the zone in which it is located
	See § 345-30E.
	Townhouses, hotels, waterfront mix residential: see Article VI
Accessory structures and uses	1 1/2 stories and/or fifteen-foot maximum, minimum setback 10 feet. See § 345-11P for other requirements. See § 312 for tennis court requirements. ^[1]

[1] *Editor's Note: The Schedule of Lot, Yard and Bulk Requirements for the C-5 Commercial Recreation Zone District and the C-6 Boulevard Commercial Zone District, which immediately followed this schedule, were repealed effective with the adoption of the Oceanfront-Broadway Redevelopment Plan on 5-14-1996 by Ord. No. 15-96.*

§ 345-116. Industrial Zone District.

See § 345-34.

Permitted uses	Industrial, manufacturing
Conditional uses [Amended 8-22-2000 by Ord. No. 35-00]	Public utilities; public, parochial and private schools
Minimum lot area (square feet)	15,000
Minimum lot frontage (feet)	100
Minimum lot depth (feet)	150

63-67 Brighton Ave, Long Branch, NJ 07740, Monmouth County

APN: 27-00127-0000-00006 CLIP: 8558484001

POPULATION

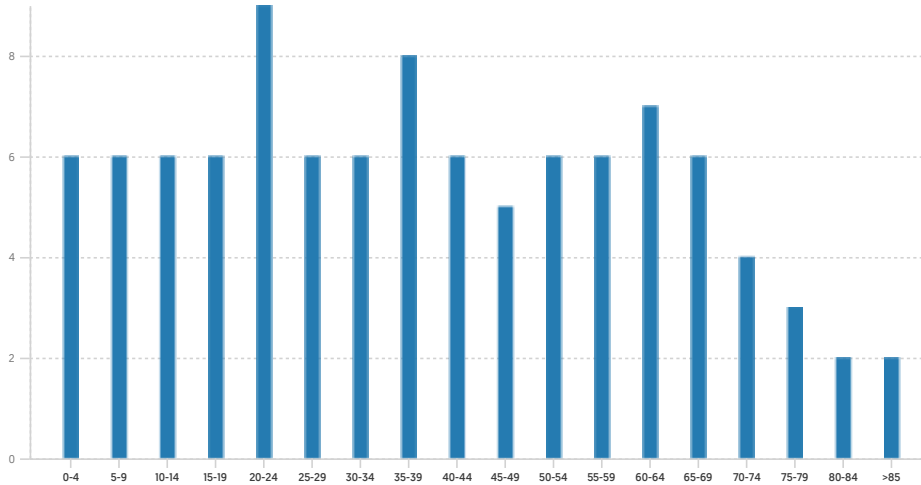
SUMMARY

Estimated Population	31,863
Population Growth (since 2010)	2%
Population Density (ppl / mile)	4,948
Median Age	37.5

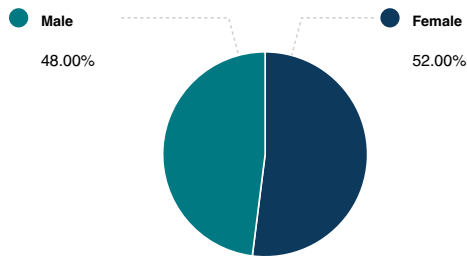
HOUSEHOLD

Number of Households	12,817
Household Size (ppl)	2
Households w/ Children	6,995

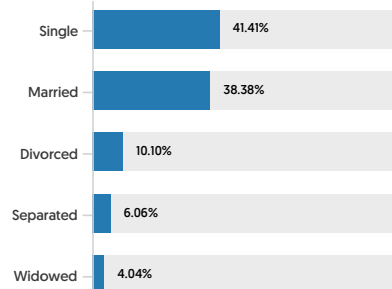
AGE



GENDER



MARITAL STATUS



HOUSING

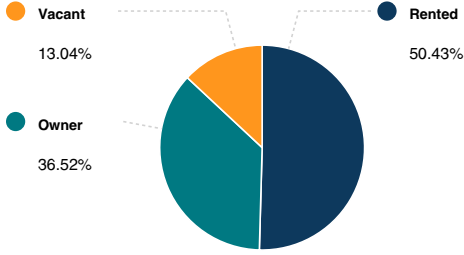
SUMMARY

Median Home Sale Price	\$394,600
Median Year Built	1967

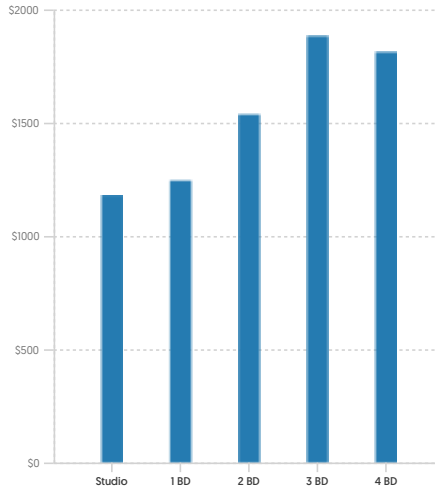
STABILITY

Annual Residential Turnover	13.51%
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OCCUPANCY



FAIR MARKET RENTS (COUNTY)

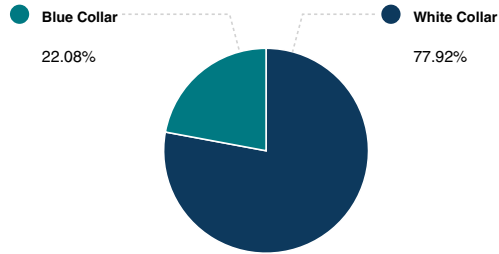


QUALITY OF LIFE

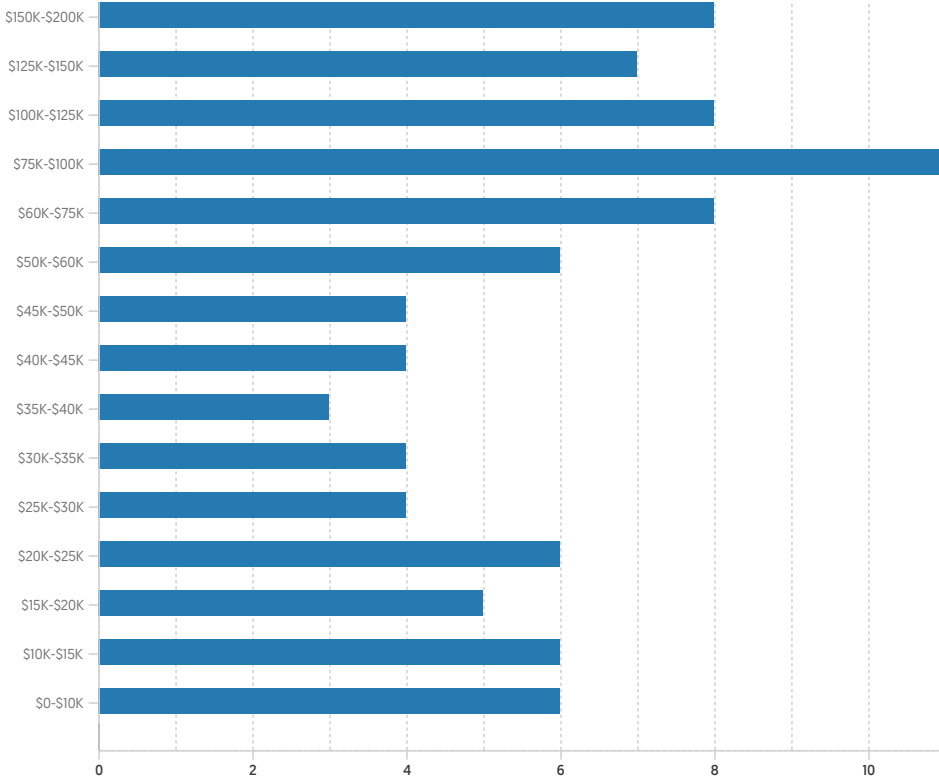
WORKERS BY INDUSTRY

Agricultural, Forestry, Fishing	86
Mining	
Construction	2,318
Manufacturing	547
Transportation and Communications	529
Wholesale Trade	404
Retail Trade	1,933
Finance, Insurance and Real Estate	1,208
Services	6,057
Public Administration	527
Unclassified	

WORKFORCE



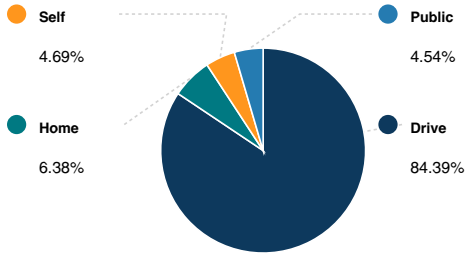
HOUSEHOLD INCOME



Average Household Income **\$65,647**

Average Per Capita Income **\$36,487**

COMMUTE METHOD



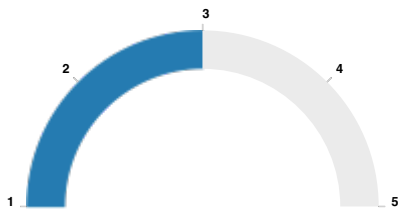
Median Travel Time **30 min**

WEATHER

January High Temp (avg °F)	41.2
January Low Temp (avg °F)	23.9
July High Temp (avg °F)	82.7
July Low Temp (avg °F)	66.1
Annual Precipitation (inches)	48.66

EDUCATION

EDUCATIONAL CLIMATE INDEX (1)



HIGHEST LEVEL ATTAINED

Less than 9th grade	1,521
Some High School	3,742
High School Graduate	5,857
Some College	3,270
Associate Degree	1,377
Bachelor's Degree	5,457
Graduate Degree	2,852

(1) This measure of socioeconomic status helps identify ZIP codes with the best conditions for quality schools. It is based on the U.S. Census Bureau's Socioeconomic Status (SES) measure with weights adjusted to more strongly reflect the educational aspect of social status (education 2:1 to income & occupation). Factors in this measure are income, educational achievement and occupation of persons within the ZIP code. Since this measure is based on the population of an entire ZIP code, it may not reflect the nature of an individual school.
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SCHOOLS

RADIUS: 1 MILE(S)

PUBLIC - ELEMENTARY

	Distance	Grades	Students	Students per Teacher	GreatSchools Rating (1)
Morris Avenue Elementary School	0.99	Pre-K-K	295	11	
Community Rating (2)					
Morris Avenue Elementary School					

PUBLIC - MIDDLE/HIGH

	Distance	Grades	Students	Students per Teacher	GreatSchools Rating (1)
Academy Of Law & Public Safety	0.45	11th-12th	56	7	8/10
Long Branch High School	0.49	9th-12th	1,495	11	3/10
Long Branch Middle School	0.64	6th-8th	1,028	10	2/10
Community Rating (2)					
Academy Of Law & Public Safety			5		
Long Branch High School					
Long Branch Middle School					

PRIVATE

	Distance	Grades	Students	Classrooms	Community Rating (2)
Seashore School	0.61	Pre-K-6th	38		

(1) School data is provided by GreatSchools, a nonprofit organization. Website: GreatSchools.org. Based on a scale of 1-10.

(2) The community rating is the overall rating that is submitted by either a Parent/Guardian, Teacher, Staff, Administrator, Student or Former Student. There will be only one rating per school. Based on a scale of 1-5.

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LOCAL BUSINESSES

RADIUS: 1 MILE(S)

EATING - DRINKING

	Address	Phone #	Distance	Description
2nd Floor Restaurant	71 Brighton Ave	(732) 443-7399	0.02	American Restaurant
71 Brighton Avenue Ltd	71 Brighton Ave	(732) 923-9100	0.02	Bar (Drinking Places)
Lava Pit	75 Brighton Ave Ste A	(732) 759-8855	0.02	Family Restaurants
Bagel Guys Deli LLC	55 Brighton Ave	(732) 229-0100	0.02	Delicatessen (Eating Places)
Mediterranean Grill	75 Brighton Ave Ste B	(732) 229-0100	0.03	Grills (Eating Places)
Jrs	75 Brighton Ave Ste D	(732) 229-9600	0.03	Grills (Eating Places)
Ocean Cafe Inc	79 Brighton Ave	(732) 222-2221	0.04	Cafe
The Herd Juicery	80 Brighton Ave	(908) 839-3139	0.04	Snack Bar
Ming Ying Chinese Restaurant	80 Montgomery Ave	(732) 728-0088	0.05	Chinese Restaurant
Aji Asian Cuisine	82 Montgomery Ave	(732) 728-9888	0.05	Japanese Restaurant

SHOPPING

	Address	Phone #	Distance	Description
7-Eleven	554 Ocean Blvd Frnt	(732) 870-1133	0.06	Convenience Stores, Chain
Brighton Avenue Marketplace Inc.	612 2nd Ave	(646) 522-0143	0.08	Supermarkets, Chain
International Tool & Die Stamping LLC	61 W End Ave	(732) 870-8549	0.08	Tools
Gokulesh Convenience Inc	120 W End Ct	(732) 222-1790	0.16	Convenience Stores, Independent
Brazilian Market	142 Brighton Ave	(732) 870-3303	0.19	Grocery Stores, Independent
Oceanfront Coffee LLC	700 Ocean Ave Apt 4	(732) 870-3695	0.25	Coffee
Ptj, Inc	320 3rd Ave	(732) 222-8900	0.68	Grocery Stores, Independent
Rook Coffee Roasters LLC	300 2nd Ave	(732) 570-5920	0.76	Coffee
Herbalife	263 Morris Ave	(732) 900-7595	0.95	Spices And Herbs
Fancy Sweets LLC	11 Elinore Ave	(732) 222-7341	0.97	Candy